

DEVELOPMENT SUMMARY				
PARCEL	ACRES	MAXIMUM RESIDENTIAL DENSITY		(f) MAXIMUM GC and NC/R AREA
		DU/AC	DU	AC
GC: GENERAL COMMERCIAL				
Parcel D	9.9±			9.9±
Parcel E	3.3±			3.3±
GC TOTAL	13.2±			13.2±
NC/R: NEIGHBORHOOD COMMERCIAL/RESIDENTIAL				
Parcel H	15.9±			15.9±
Parcel I	6.6±			6.6±
NC/R TOTAL	22.5±	6 DU/AC AVG. 12 DU/AC MAX.	135 DU	22.5±
R-MD: RESIDENTIAL-MID DENSITY				
Parcel J	1.1±	12	13 DU	
R-MD TOTAL	1.1±		13 DU	
PUD TOTAL	36.8±		148 DU	35.7±

NOTES:
1.) NC/R may be developed in either/or, or a combination of Neighborhood Commercial and/or Residential land uses. For each acre developed solely as Residential use, one acre of Neighborhood Commercial use is eliminated. Residential uses placed above Neighborhood Commercial uses do not diminish Neighborhood Commercial acreage, however, such residential use counts toward the maximum allowable 271 DU count in the NC/R land use within the overall Flemington Village PUD General Development Plan.

LAND USE:

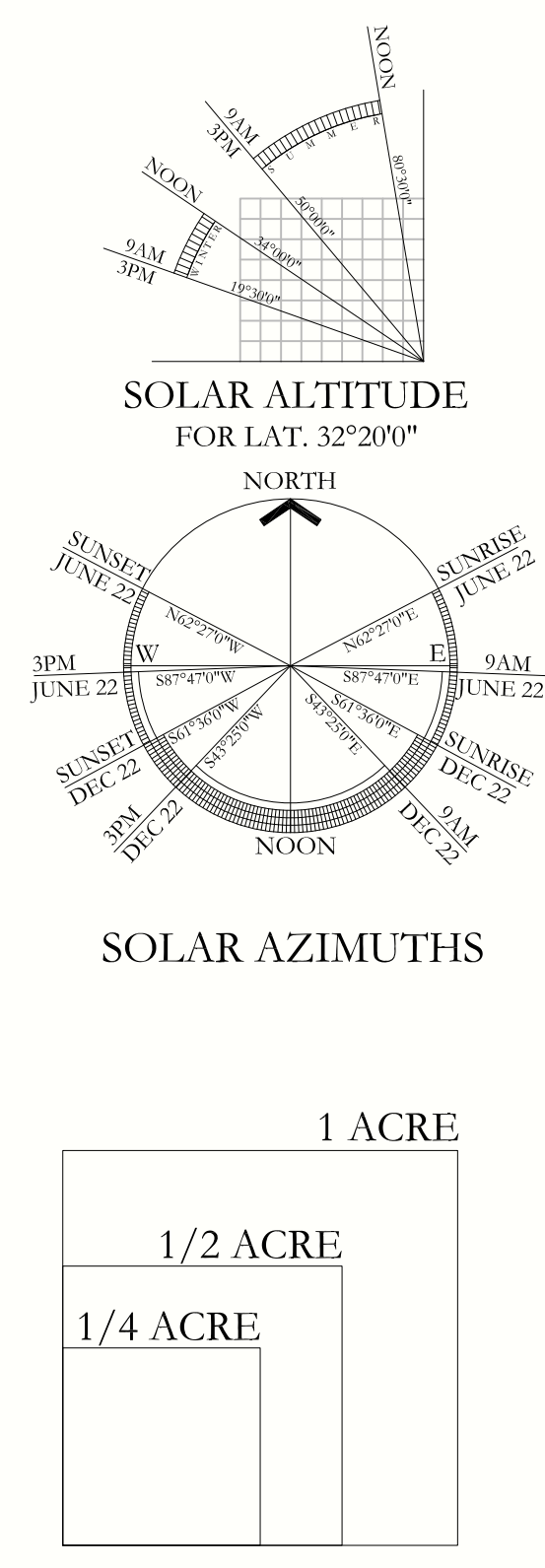
GC GENERAL COMMERCIAL

NC/R NEIGHBORHOOD COMMERCIAL/RESIDENTIAL

CITY LIMITS

Exclusive Marketing

FRASER REALTY CORPORATION



Notes:
1. This PUD General Development Plan is conceptual in nature, and subject to approval of local, state, and federal agencies. All property lines, tract dimensions and descriptions are for graphic representation and serve as an aid to site locations only. Any person desiring to determine actual tract or lot configurations should examine the plats, deed restrictions and covenants applicable to specific portions of the property.

A Portion of the Flemington Village
PUD GENERAL
DEVELOPMENT PLAN

NORTH

0 50 100 200 300 FEET

SUBMITTED
June 10, 2010
APPROVED
October 12, 2010