



**ARCHITECTURAL CONTROL GUIDELINES
DIAMOND RIDGE**

Diamond Ridge Property Owners Association
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ACC@DiamondRidgeBoerne.com

The Declaration of Covenants, Conditions, and Restrictions (CCR) establishes the authority for the Property Owners Association (POA) and the Architectural Control Committee (ACC). They further empower the ACC to create, communicate, and enforce the Design Guidelines which follow.

The Design Guidelines should reflect the intention of the Board and the ACC as facts and circumstances evolve over time. Exceptions and variances from these guidelines are expected, and a reality, given the unique nature of the majority of the lots within Diamond Ridge.

The following Design Guidelines are intended to be a living document, one which is capable of growth and evolution to reflect the changing needs of the community. They are intended to communicate the overall essence and appearance of what we strive for. Common sense and consistency are more important than absolute compliance and conformity.

In its current version, the Design Guidelines reflect the perceptions of the Board of Directors and the ACC. Comments are welcomed from all members of the Diamond Ridge Property Owners Association and may be directed via e-mail to ACC@DiamondRidgeBoerne.com.

Thank you,

Robert Broberg, Chairman
Architectural Control Committee
December 2005

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The intent of the single family guidelines is to ensure a high quality of development while providing adequate flexibility. The desired quality will be achieved through adherence to the design criterion set forth in this guideline.

Specifically, setback conditions, minimum grades, site access, utility screening, site lighting, and architectural controls have been established to produce a high level of quality and a positive neighborhood environment.

The Architectural Control Committee (ACC) will uniformly apply these guidelines as well as consider specific site restraints which might make absolute adherence to these guidelines an undue burden on the owner.

These Architectural Control Guidelines are to supplement and clarify the Declarations of Covenants, Conditions, and Restrictions (CCR), in the event of a conflict, the CCRs are governing.

The Diamond Ridge CCRs provide that the ACC's general responsibility and function is to review and approve all building plans, elevations, and site plans, including landscaping plans, to ensure compliance with the restrictions and the CCR. Also to guide the quality and style of the individual architecture and site planning so that the resulting structure will meet the quality standards established for the area and will not detract from the appearance of the neighborhood while preserving and protecting the values of the property and to ensure that the architectural aesthetics and scenic integrity of the community is maintained.

I. THE ARCHITECTURAL CONTROL COMMITTEE PLAN APPROVAL PROCESS

A. Approval Procedures

The ACC approval process applies to any and all types of improvement to the property before, during, and/or after construction of the residence.

The design of each residence must be approved by the ACC prior to construction. There are three stages of the ACC reviews:

1. Preliminary Review (optional)
2. Final Plan Review
3. Field Review

The owner shall submit the applicable plans to the ACC according to the following procedures. These procedures are intended to enhance the processing of the submittal and minimize the chances of non-communication between the owner and the ACC.

B. Two sets of plans and a Description of Materials and Specifications detailing the construction specifications and allowances, typically a part of the construction contract between the homeowner and the builder, and the Diamond Ridge Owner/Builder Checklist are to be dated and delivered to:

ACC Diamond Ridge
415 Highway 46 West
Boerne, TX 78006

C. All requests for information and clarification should be directed to Robert Broberg, ACC Chairman, at the above address.

D. The owner shall state in writing with submittal that all applicable codes, ordinances, covenants, conditions, and restrictions have been adhered to or:

1. The owner shall identify and quantify areas which would require a variance and state the reason(s) for the request.

2. The owner shall provide variance approval in writing with plan submittal if variance has been provided prior to the submittal.

E. The ACC shall provide proof of receipt of plans for submittal upon written request of owner.

F. The ACC shall provide a response in writing within thirty (30) calendar days of plan submittal. Generally, the time required will be substantially less.

G. ACC member(s) shall meet with the owner(s) or his/her agent within seven (7) days of written request to discuss applicable issues identified in written review, if required by owner. Approved plans shall be so marked by the ACC.

H. Submittal shall conform to the following format:

1. Two (2) bound blue line or black line copies of documents identified in the ACC Review Criteria for the applicable submission. The submission shall be identified as to whether it is preliminary, final, or field. All plans must be accompanied with outline specs.

2. Names, addresses, and phone numbers of key project personnel with e-mail addresses if appropriate.

3. All lots shall be numbered on plans to facilitate better communication between the ACC and owner.

4. All plans and specifications must be dated upon submittal for review and approval.

5. Submit samples of exterior materials, including color samples, to the ACC upon request.

6. Under no circumstances shall any work begin before Final Plan Approval is issued by the POA/ACC to the builder and/or owner.

7. Changes after approval of final plans and/or during construction must be submitted for approval prior to the installation.

I. Approval of “primary” contractor for any construction in the event the owner is not a builder-owner of spec house, must be made by the ACC.

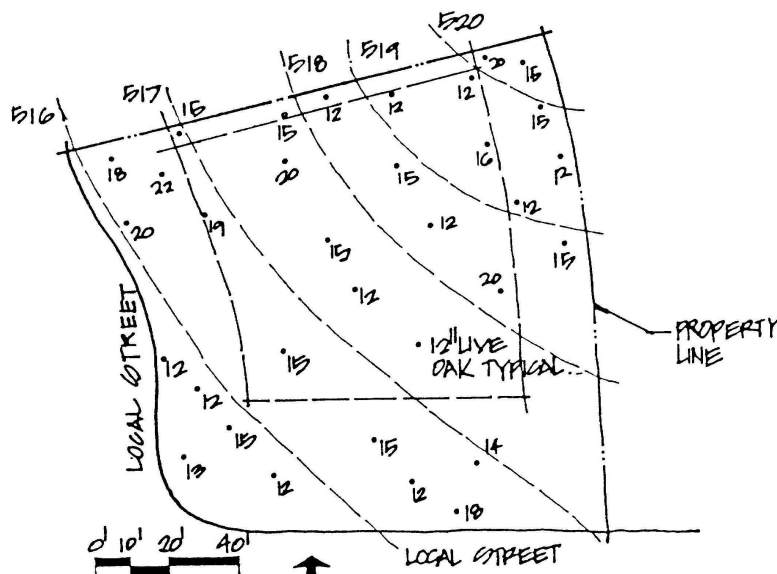
II. PRELIMINARY REVIEW SUBMITTAL REQUIREMENTS (OPTIONAL)

GENERAL:

Preliminary Plan Review Submittals are not a mandatory requirement set forth by these guidelines. However, it is in the best interest of the owner to submit the following preliminary requirements to alleviate any problems that may arise at final submittal. If you think you may need to “test the waters,” you probably do. Sooner is always less expensive than later.

A. Existing Site Plan

1. Approximate location and species identification of all trees with six (6) inches or greater diameter, (excluding cedar) measured one foot above existing grade, with an indication of which ones are to be removed.
2. Street names, easements, north arrow, property lines, setbacks, and graphic scale.
3. Preferred scale: 1" = 20'-0." We acknowledge scale variation may be required to adequately indicate location of improvements. It is not necessary to include



acreage outside of the improvement envelope as it adversely impacts the scale of the site plan.

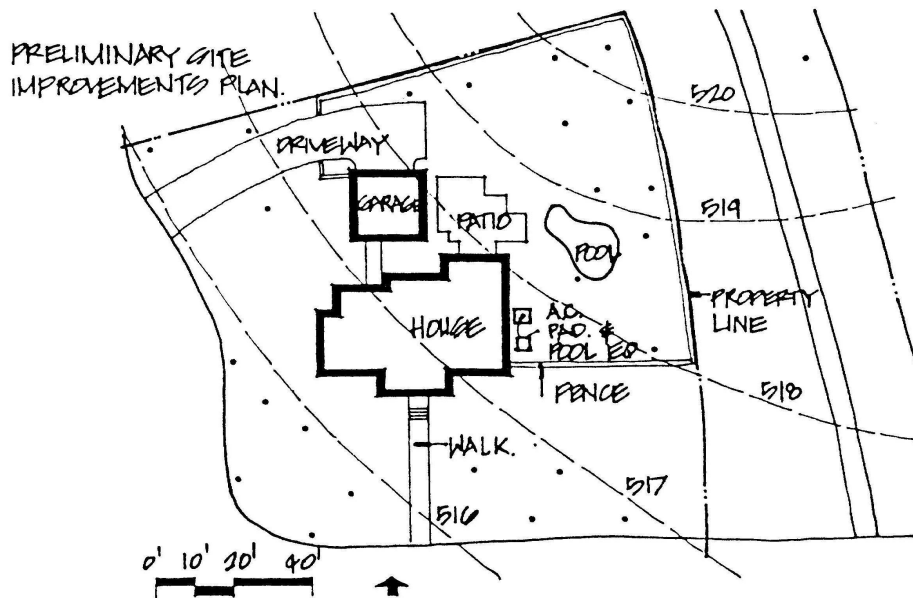
B. Preliminary Site Improvements Plan

1. Show building layout.
2. Locate all set backs, drainage easements, and flood planes and verify layout compliance.
3. Locate all planned improvements including drives, walks, patios, decks, walls, fencing, well, septic, water tank, and sanitary control easements.
 - a. Well and Septic Systems- Installations of well and septic systems given the unique topography and irregular size and shape of the lots may present special challenges. Consideration of well and septic locations should begin early in the planning process to ensure that all requirements are satisfied for health and sanitary concerns. In many cases, your selected installation can impact adjoining property owners. The ACC assumes no responsibility in its approval process of compliance with state and local regulations relating to your systems, it is up to the homeowner.
 - b. Water Tanks- Location and appearance of water tanks require consideration early in the planning process. Exposed water tanks are discouraged. It is our preference that water tanks be concealed within outbuildings, designed to match the construction and appearance of the main house. This includes walls, roof, foundation exposure, and landscaping.
4. Locate A/C pads.
5. Indicate pool size and pool equipment location.

6. Preferred scale 1" = 20'-0"

C. Preliminary Floor Plan

1. Indicate all structures, including garage, gazebos, and patios.
2. Include all levels if more than one story.
3. Indicate room names and special features.
4. Show overall dimensions.
5. Indicate square footage of all levels by level and total area. Compute garage total area. Compute garage and patio area separately.
6. Preferred scale: $\frac{1}{4}" = 1'-0"$



D. Preliminary Exterior Building Elevations

1. Include all structures.
2. Show all exterior building elevations, including garage if detached.
3. Indicate maximum roof height and slope.
4. Show overall dimensions.
5. Description of materials and finishes.
6. Provide enough detailing of materials to indicate overall character of building.
7. Preferred scale: $\frac{1}{4}" = 1'-0"$

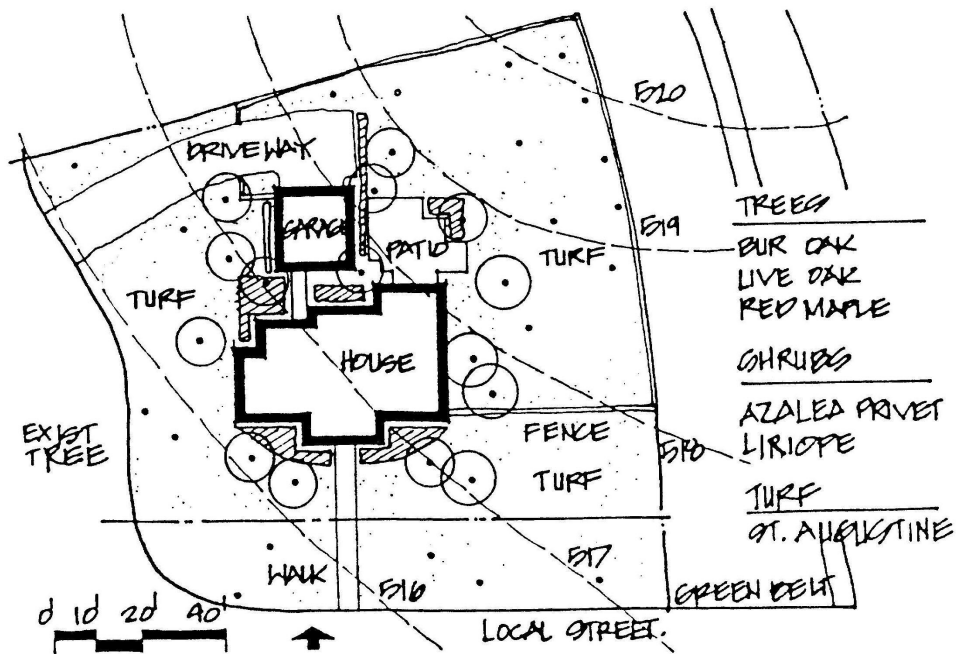


PRELIMINARY EXTERIOR ELEVATIONS

SHOW EXTERIOR MATERIALS AND COLORS. SPECIAL FEATURES SUCH AS SHUTTERS, INDICATE APPROPRIATE HEIGHTS - COLORS MAY BE SUBMITTED AT LATER DATE BUT PRIOR TO INSTALLATIONS.

E. Preliminary Landscape Plan

1. Include walks, fences, walls, grading, turf areas, ground cover areas, shrubs, trees, fountains, landscape lighting, etc.
2. Indicate required screening.
3. Include list of materials and plant types to be used.
4. If pool is to be installed show pool location, fencing, and equipment.
5. Preferred scale: 1" = 20'-0"



III. FINAL REVIEW SUBMITTAL

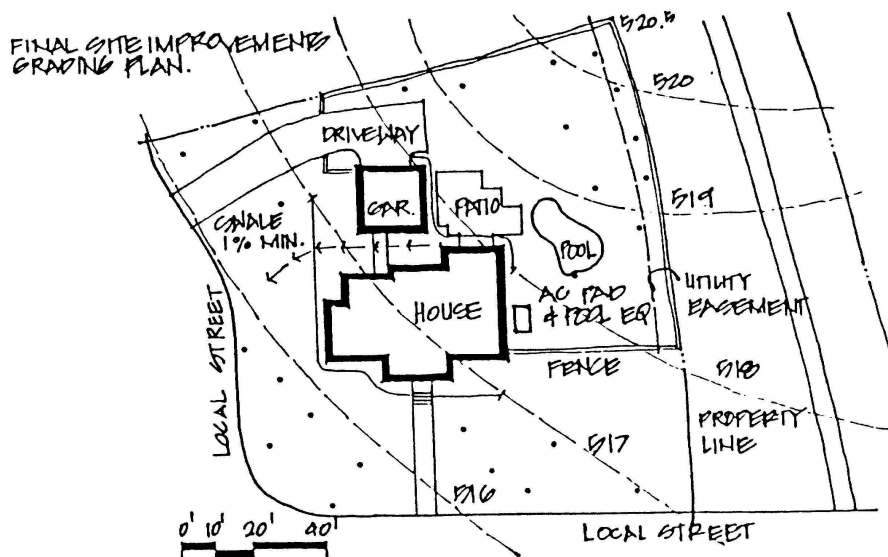
Required Drawings:

A. Existing Site Plan/ Tree Survey

1. Show existing contour grades at intervals.
2. A formal tree survey is not mandatory but show approximate location of all trees with six (6) inch or greater diameter, (excluding cedar) measure one (1) foot above existing grade, and indicate which trees are to be removed.
3. Indicate street names, easements, north arrow, and graphic scale.
4. Preferred scale: 1" = 20'-0"

B. Final Site Improvements/ Grading Plan

1. Include all structures, walks, patios, gazebos, pools, driveways, parking, fences, walls, etc.
2. Trees to be saved must be indicated.
3. Tree care grading provisions to be shown on this drawing.



4. Existing and finished grades shown at lot corners and corners of improvements. Indicate all retaining walls and materials to be used.

5. Indicate property lines, easements, building setbacks, street names, north arrow, and graphic scale.

6. Lot drainage provisions including any culverts and swale are to be shown.

7. Preferred scale: 1" = 20'-0"

C. Final Floor Plans

1. Show all structures including garage, gazebos, and patio covers.

2. All necessary measurements and dimensions must be shown.

3. Indicate room names, appliances and connections, special features, lighting, and electrical.

4. Include square footage of every level and total square footage. Show garage and patio areas separately.

D. Final Exterior Building Elevations.

1. Show all exterior building elevations.

2. Show all structures, including garage if detached.

3. Indicate roof height and slope.

4. Show all necessary measurements and dimensions.

5. Description of material and finishes must be indicated.

6. Detailing must convey finished look of the house.

7. Final front elevation of lighting fixtures.

8. Final submission should include samples of all colors including roofing, masonry, siding, etc., prior to installation. Arrangements can often be made to review and approve onsite.

9. Preferred scale: $\frac{1}{4}" = 1'-0"$

E. Specifications

1. All plans must be accompanied with outline specs. Include all allowances, especially landscaping allowance.

F. Final Landscape Plans

1. Include any walkways, fences, walls, beams, mounds, turf areas, ground cover areas, shrubs, trees, retaining walls, garden ornamentation, fountains, landscape lighting, etc.

2. Show required fence and landscape screening for A/C, pool equipment, etc.

3. Include on the plan a list of plant material indicating names and sizes of all the plants shown on the landscape plan.

4. Plans shall be submitted, at minimum, sixty (60) days prior to closing.

5. All site preparation and landscaping must be completed to approved plans within ninety (90) days of occupancy.

6. Preferred scale: $1" = 20'-0"$

G. Final Irrigation Plan

If irrigation system is to be installed it must be designed by a licensed irrigation contractor.

1. Preferred scale: $1" = 20'-0"$

H. Indicate pool plans including decking, pool equipment, and any other improvements. Show location on site plan.

IV. FIELD REVIEW SUBMITTAL

The purpose of the Field Review process is to ensure that trees are adequately preserved and the general street edge character of the development is maintained in accordance to guidelines.

The ACC retains the right to inspect the home during construction, at completion, and after the home is complete if necessary.

Upon inspection, the ACC will notify the owner of any discrepancy and the POA will or may take all legal remedies to bring the project back into compliance.

V. SITE PLAN / SET BACK STANDARDS

A. Garage Orientation

All garages must have a side or rear-on relationship to the street.

B. Driveways

1. All driveways must be surfaced with concrete, concrete pavers, asphalt, crushed granite, or any combination thereof. Driveways must be surfaced upon completion of the main dwelling unit.

Conduits under the driveway are necessary for future electrical/irrigation uses, two full conduits are recommended as a minimum.

C. Lighting

1. Exterior lights such as those for security, safety, and decorative reasons are allowed provided that all exterior lighting is hooded or the main beam of light is at no greater than a thirty (30) degree angle from the ground.

D. Mail Box and Address Numbers

1. Central mail delivery boxes will be provided and maintained by the POA.

2. No individual mailboxes will be approved.

3. House Numbers: Illuminated street addresses are required for each residence. These must be located so as to be clearly visible from the street.

E. Trash Collection

Each homeowner is responsible for keeping the front yard clean and neat before and after every curb-side trash collection. Cans shall be removed from the curb-side on the same day immediately after pick up. Trash receptacle storage area

must be screened. Trash can only be put out on the morning of pick-up and not left out overnight.

F. Grading

1. All fill and cut slopes must be adequately landscaped in accordance with the design guidelines.

2. No retaining wall shall exceed four (4) feet if visible from any street, other lot, and any common area unless specifically approved by ACC due to lot topography.

3. Transition shall be gentle and natural in appearance and relate to the existing conditions of the site.

G. Tree Preservation and Landscape Standards

1. Tree Removal: No trees with a trunk caliper of six (6) inches or larger measuring at a point twelve (12) inches above grade may be removed without prior approval of the ACC, unless located within five (5) feet of the approved building or within four (4) feet of the approved driveway.

I. Landscaping

The landscaping plan should be designed by a licensed landscape architect or licensed nurseryman of the State of Texas. Planting must include sufficient planting of both type and quantity to be adequately complimentary to the exterior of the residence. The ACC must approve all plans. The design of front yard landscape should emphasize the existing natural landscape character. Where vegetation has been lost or is sparse, infill planting with native tree species is desirable.

Flowering trees and ground cover should be used near the house and lawn turf and native trees should be of a uniform street-scape character.

All new landscaping turf installed or planted must be Buffalo, Blue Grama, Zoysia, or Bermuda grass. Other low water turf products will be considered and may be approved by the Architectural Control Committee. All requirements for specific types of turf are included in the restrictions to encourage water conservation practices. At time of completion of the main dwelling, all property from the rear line of the house to the street must be maintained as follows:

1. Grass, whether native or planted, is to be mowed on a regular basis when necessary and maintained at a height no greater than six (6) inches above the ground for native grass, and no greater than three (3) inches above the ground for all other grasses.

2. Any existing cedar located from the road to the rear line of the main residence must be removed if the trunk is less than six (6) inches in diameter. Cedar may remain on boundary lines if no more than fifteen (15) feet from said boundary.

J. Irrigation

The irrigation system must be designed to incorporate a backflow prevention device to protect the potable water supply from systems back siphonage.

The system must also be installed to ensure minimum root damage to the existing trees.

VI. ARCHITECTURAL CONTROL STANDARDS

The community of Diamond Ridge is intended by its POA, ACC, planners, and residents to embody the finest standards in single family housing.

Careful site planning and architectural design can allow each house to take advantage of views and offer residents a pleasant invitation to outdoor living in their own backyard.

In addition to above notions, concepts of style and the image of the individual residences are critical in developing the sense of quality, graciousness, and elegance which Diamond Ridge affords.

In accordance with the intent to develop Diamond Ridge as a residential environment of the highest quality, architectural control standards have been compiled as a guide to owners, architects, designers, and builders. These standards elaborate upon the POA and ACC's general commitment to quality by dealing individually and specifically with the numerous elements of the residential environment. The standards will be upheld by an Architectural Control Committee, granted by the Diamond Ridge Property Owners Association, which has the power of review over the design for each residence in Diamond Ridge.

It is a requirement that each house be uniquely designed for the site as it relates to surrounding environmental conditions. Each house must be designed for a specific lot. It is a mandatory requirement that the house plan work in harmony with the lot. Plans not in harmony with the lot will not be approved.

A. Structure Exterior Design Features

The following general features shall be incorporated into the exterior design of the structures in addition to those outlined in other sections of this guideline. The following information is to be used as an aid in the review and approval of the plans to ensure that the proposed structure shall be of an equal or higher quality level and will meet the standards established for the existing acceptable structures and will be in compliance with the CCRs.

1. The exterior design, incorporating porches, courtyards, decks, patios, etc. is to be adapted to the lot location and topography to enhance the scenic beauty of lot and area.

The exterior design shall be in harmony with the existing acceptable structure and shall incorporate multiple and masses of roof lines, using gabled and hip roofs, dormers, multiple planes, setbacks, and similar designs to create the custom elevations required for each residence. Structure based on simple box like rectangular shapes or two story box-on-box shape structures are discouraged.

2. The structure frame and siding design shall incorporate set backs, multiple planes, and vertical lines. The exterior walls of the main residence constructed on any Lot shall be at least eighty five (85) percent masonry, or masonry veneer, excluding window and door openings. Masonry or masonry veneer includes stucco, ceramic tile, clay, and stone. Concrete siding material like Hardy Plank is not considered masonry. Brick may be used for accent only and for purposes of this Declaration, shall not be considered masonry. However,

brick work utilizing custom features such as quoins, capitals, row locks, arches, and/or similar designs to create a custom exterior design which is in keeping with the style of the home will count toward eighty-five (85) percent masonry at the discretion of the ACC. The exterior of all chimneys shall be one hundred (100) percent masonry of a type and color matching the exterior walls of the dwelling.

3. The front entry shall include custom front door designs using either custom double doors and transoms or single doors with custom side lights and transoms. The doors should be designed to utilize either: solid wood doors with panels and with decorative raised molding, a combination of glass and wood doors with panels utilizing beveled, leaded, or similar custom glass in the door and either plain or custom glass in the transom and side lights.

4. All residences shall be pre-wired for a perimeter burglar alarm system covering all exterior doors, entries, and windows and such type, number, and location of smoke and fire detectors as stipulated by local county and/or city ordinances and/or building codes then in effect. While not mandatory, the ACC encourages that each residence be pre-wired for a music/intercom system, including front and rear door stations and door bells.

5. All residences shall be pre-wired for the installation of ceiling fans, with wall mounted fan controls/switches in each of the bedrooms, living rooms, and family/game rooms.

6. All residences shall include windows in all elevations and where practical, in each exterior wall of each room. The use of bay windows, floor-to-ceiling windows, grouped multiple windows, french doors, atrium type doors,

multiple transoms, clerestory windows, and/or similar custom designed window treatments in living areas adjacent to and opening onto porches, courtyards, or outside gardens to create an indoor-outdoor living space is encouraged.

7. While gutters are not mandatory, the ACC recommends installation of full perimeter gutters to prevent deterioration of the foundation, discoloration of the siding material, and destruction of the planting around the foundation.

8. All A/C units, pool pump/heater/filter equipment, and similar equipment must be placed behind wing walls, fences, and/or adequate planting or landscaping so that the equipment is not visible from the street on the date of occupancy.

9. Open garages and car ports are prohibited. Electric garage door openers are encouraged.

B. Structure and Interior Design Features

The interior design of the structure should be of an equal quality level of existing acceptable residences; the interior design shall meet the minimum design standards established for existing acceptable structures, be in compliance with the CCRs, shall incorporate some or all of the following major features as may be required to meet the minimum acceptable values, and shall preserve and protect the architectural style, integrity, and property values of the development.

1. The floor plan and structure lines are to incorporate multiple planes and simple box-like rectangular rooms are to be avoided.

2. Each residence should include at least one fireplace which shall preferably be located in the living room or family room. The ACC encourages a minimum of two fireplaces.

3. Use of prefabricated metal and masonry fire boxes is acceptable, provided the fireplaces incorporate custom fireplace walls, and/or custom mantles and hearths as described below. However, masonry fireplaces are preferred.

4. Use of masonry or decorative paneling fireplace walls and hearths with custom wood or masonry wrap around mantles and/or similar custom design features are required design features for fireplaces.

5. The interior design shall incorporate high (10 to 20 foot) flat or multiple height ceilings using coffered, gabled, beamed, cathedral, or vaulted ceilings with textured finishes, and with layered and/or wide moldings in the entrance ways, foyers, and living areas.

6. Custom features such as arched passageways, columns, pilasters, ceramic tile, stone, or wood floors are similar design features are to be used in the foyer and entrance hall to create a dramatic entrance area.

7. The kitchen and kitchen/breakfast room areas shall incorporate custom design features such as: cooking and/or food preparation islands, walk in pantry, skylights and/or clerestory windows, open beam planter shelves, double ovens, microwave ovens, counter top cooking units with down draft exhaust systems, double sinks and food preparation sinks, ceramic tile, stone, and/or laminated plastic surfaces on working/serving counter tops and back splash, custom mill

fabricated job finished corner cupboards, cabinets and counters, under counter cabinets, work counter lighting, indirect and recessed lighting, and/or similar custom design features.

8. Include a separate utility room with custom mill fabricated job finished cabinets and counter(s), mud sink, built-in ironing and/or sewing center, broom closet, and/or similar custom features in addition to sufficient space and utilities for washer, dryer, and freezer.

9. If desired by the owner, provide a separate wet bar room or area with custom mill fabricated job finished cabinets and incorporate work/serving counter(s), food/drink preparation sink, ice maker, wine rack(s), shelves and/or rack for bar glasses, and other custom features in keeping with the lifestyle of the owners.

10. Provide allowance or quality lighting fixtures and outlets in keeping with the custom interior design (PHA minimums are not acceptable), multiple electric, telephone, cable TV, convenience outlets, recessed, indirect, spot and similar area custom lighting fixtures, closed lights with external or automatic switches, and similar custom designed lighting systems.

11. Provide quality plumbing bathroom, utility room, and kitchen fixtures and hardware, man made cultured marble, stone, or ceramic tile counter tops, tub and shower surrounds or stalls, and quality door and cabinet hardware and fixtures.

12. Incorporate energy efficient insulation and multiple air heating and refrigeration systems with zoned, thermostatic controls, and water heating

system(s) and cold water system(s), with water softener connections and a minimum of one outside faucet on each side of the structure.

13. Provide custom design features such as walk-in storage space, shelves, closets, electrical convenience outlets, water faucet(s) and wash tub, and/or similar conveniences in the garage area.

C. Minimum Quality Standards for Irrigation and Landscaping

In view of the major emphasis placed by the POA and ACC on the overall scenic beauty and naturalistic landscaping of the development, the ACC may require the planting of trees, ground cover, shrubs, and grasses as required to preserve the general landscaping goals of the development as a whole and to preserve and protect the property values.

Special attention will be given to the front yards, side yards of corner lots, and any area visible from the street. The landscaping design of corner lots shall provide physical continuity along its extent and shall use mass plantings of a free flowing or naturalistic design. Large expansive elevations of structures or fences are to be softened by landscaping and planting to alleviate visually dominating structures.

It is the ACC's objective to control the minimum quality standards and yet allow maximum flexibility.

D. Main Entry

1. A sense of entry can be enhanced by massing major roof forms over the main entrance.

2. Steps to the entrance threshold should create the necessary transition between the street, front yard, and into the house.

3. A front porch or recess can add depth to the facade, focusing upon the main entrance and create a sense of arrival and provide shelter from the elements.

All of the above features could be incorporated in order to enhance the desired quality of homogeneity in the neighborhood.

E. Roofs/Dormers

Simplicity in the overall building form is desirable to provide visual continuity throughout the neighborhood. While creativity is not to be discouraged, frivolous or distracting roof design is not permissible.

1. Roofs as a Unifying Element

Major roof masses which slope toward the street are preferred.

Any departure from this is to be subtle and simple in form and design.

In order to achieve a varied mix of architectural style in the community, a variety of roofs and materials are acceptable unless they are not compatible with the general character of the architectural style.

a. Gable and hip roofs with a minimum allowable pitch of 12/6 are most desirable.

b. Color of roofs must be in harmony with other structures.

c. All exposed gutters, downspouts, and flashing should compliment the color of the roof or the adjoining surface, i.e. chimney flashing.

d. The highest roof should not occur over the garage.

e. Downspouts are to be located to provide a clean, unobtrusive appearance and terminated with splash blocks.

F. Garages and Porte Cocheres

1. No less than two (2), but no more than five (5), spaces of enclosed automobile storage are required for each home.

2. Electric garage door openers are encouraged.

3. Interior walls shall be finished.

4. No carports are allowed.

G. Chimneys

It is recommended, but not mandatory, that every residence incorporate a minimum of one fireplace. Those portions of chimneys exposed to elements, being all exterior portions of the chimney shall be one hundred (100) percent masonry. The chimney structure should be expressed on the exterior of each residence in one of the following manners:

1. Placement of the chimney near the front or side of the house in a manner conspicuous to the street and to accent these elevations.

2. If placed on an exterior wall, a complimentary material should be used for visual mass.

3. The height of the chimney should be in proportion to the roofline.

Comply with all state codes.

4. Chimneys which barely peak above or squat on the roof are not visually bold enough and therefore are unacceptable.

5. Exposed metal flue chimneys are not allowed. They may only be used when clad with masonry material complimentary to the house.

6. All rain caps, spark arrestors, screens, etc. are to be painted a complimentary color.

H. Windows

Window size, proportion, and placement are critical in a well balanced facade design.

1. Windows arranged in groups, rather than random singular placement, create visual interest and are encouraged.

2. A pattern of single windows should be used to create an overall pattern of style on the facade.

3. Tall windows, stopping only six (6) inches to eighteen (18) inches above the floor create a feeling of spaciousness and a look of elegance.

4. Casement, double, and single hung windows are preferred. All others must have written approval by the ACC.

5. Windows with divided lites (small panes) are encouraged.

6. All window frames and trim must be of a complimentary color to the house and be approved by the ACC. All windows are to be of an insulated type.

7. Windows may be of wood or metal. All aluminum windows, screens, and sliding glass doors shall be bronze, white, cream, or a beige color only. Clear or mill finished is prohibited.

8. Reflective glass of any type is prohibited. Tinted glass for sun control is acceptable.

9. Canvas awnings and metal awnings are generally prohibited.

10. Windows are required on all elevations and on garage walls when garage walls are visible from the street.

I. Doors

Utility doors, such as storage closet, water heaters, A/C units, etc. shall not be located so that they are visible from the street.

Architectural plans should be designed for exterior doors such as these to be located in the garage or at rear elevations of the residence.

J. Materials and Uses

Materials should be used with restraint in regard to both color and diversity of material types. The intent is to create a continuity of materials throughout the neighborhood.

1. Acceptable Materials include stucco, ceramic tile, clay, stone, and brick accents.

2. Prohibited Materials include particle board, concrete siding such as Hardy Plank, prefabricated or molded brick or concrete panels, wood or shingle siding, plywood, or other composite materials and diagonal siding.

3. Mortar is to be natural gray or white to compliment masonry color, subject to ACC approval.

4. Material should be used to emphasize planes and volumes. When different materials adjoin, care should be taken to avoid the look of an applied facing.

5. Soft and subdued paint colors should be used. Bold, primary, or unusual colors are prohibited.

6. Masonry material compatible to the architecture shall be used to face all exposed foundation concrete to within thirty-six (36) inches of finished grade on all parts of the foundation visible from any street. Concrete grade beams are to have a smooth plaster rubbed finish. Planting shrubs around the foundation is not an acceptable means of satisfying this requirement.

K. Fencing

1. No chain link fences are acceptable except to fence tennis courts.

2. Maximum height is six (6) feet. Under certain circumstances the ACC will consider for approval fences up to a height of seven (7) feet six (6) inches.

3. Tennis court fences must be landscaped and screened. Vinyl coated chain link fabric only which shall be colored a dark green or black.

L. Signage

1. No commercial or professional signs will be allowed to be located on the site other than those listed below.

2. All signs must be approved by the ACC. Only one sign may be used to identify a lot or home listed For Sale.

3. Builders may erect one (1) professionally made "Model Home" or "Custom Build on Your Lot" sign upon the purchase of a lot. Each lot that a builder purchases may have one (1) professionally made "For Sale" sign while the dwelling on said lot is under construction.

Builder Signage on lots not owned by the builder shall be placed no more than six (6) months prior to the start of construction. Builder Signs in place more than six (6) months are to be removed by the lot owner or builder upon ten (10) day notice delivered via e-mail, regular mail, or telephone to the Builder or Owner. If no action is taken the sign will be removed by the developer and discarded with the owner being responsible for a \$100.00 removal charge. "Build to Suit" and/or approved and complying Builder signs on lots owned by the Builder are not subject to this requirement. In the event a Builder Sign violates the six (6) month rule, it cannot be replaced until after the foundation pour begins. All Builder Signage must be removed promptly upon occupancy by the owner.

4. No subcontractor, supplier, or similar sign shall be allowed.

M. Exterior Equipment

1. TV dish, antennas, wires, solar collectors, and freestanding radio and TV towers are restricted to the rear of the house only so as not to be visible from the street. Location and design must be approved by the ACC.

2. TV antennas are allowed but must not extend ten (10) feet higher than the roofline.

3. It is recommended that all vent stacks, ventilators, etc. be mounted on the rear side of the roof so as not to be visible from the street. All items are to be painted to match roof color. If exhaust vents or screens terminate at the exterior of the structure they are to be painted a complimentary color.

4. All A/C condensers, electrical meters, gas meters, pool equipment, etc. shall be screened from the street by locating it at the rear or screened at the side of the house. Screening, whether by fencing or landscaping, so that units are not visible from any street must be installed at date of occupancy.

5. No roof top or window A/C units will be allowed.

N. Additional Regulations

1. Basketball backboards or similar playground equipment must be located no closer to the street than the rear building line. All backboards must be installed perpendicular to the street, or in the least conspicuous location from street view. All locations must be approved by the ACC prior to installation.

2. Fire and Burglar alarms are mandatory requirements. Perimeter burglar alarm systems, which includes all doors and windows, is required for every residence.

3. Builders and/or owners are to comply with Kendall County and the State of Texas Regulatory Codes for building, electrical, plumbing, UBC, mechanical, and the National Fire Code.

O. Site Maintenance During Construction

1. Lot must be maintained in a clean and well ordered condition, protection of existing vegetation is the responsibility of the builder during construction.

2. Each lot shall be maintained in a neat, clean, orderly condition by the builder during construction and until the house is closed. Stumps, felled trees, building debris, etc. must be removed from each lot by the builder as often as

necessary to maintain attractiveness of the construction site. Debris, including concrete washout, may not be dumped or burned in any area of the development unless a specific location for such a purpose is approved, in writing, by the ACC. Builders are responsible for maintaining all trash and debris from surrounding lots during construction period. Streets shall be maintained clear of any debris, mud, etc. at all times during construction. Any damage to streets resulting from equipment loading or unloading is the responsibility of the homeowner.

Builders and contractors are responsible for their subcontractors, suppliers, and tradesman actions.

All Diamond Ridge traffic regulations must be observed. The speed limit is thirty (30) mph maximum. Work hours are restricted to Monday through Saturday from 7:00 a.m. to 7:00 p.m.

No work is permitted on Sundays or holidays. Constant violators may lose their approval as a subcontractor or supplier and be denied access to the development.

3. Pool filter back wash discharge in the street or on adjoining property is prohibited.

4. The builder/owner is responsible for minimizing on site erosion and preventing mud from flowing into the street and adjacent lots.

5. TECQ required silt fence, other measures to contain and control runoff. Identify areas to be used for concrete washout. Identify site access if other than permanent driveway and ascertain measures to control trafficking of site dirt from site to roadway, county driveway permit.

Show location of all silt fencing, rock berms, and other measures to protect drainage easements, surface water, and/or other protected areas as applicable.

Show exterior lighting plan, specification for poles and/or attached lighting with measures to avoid light pollution.

6. Every precaution must be taken to insure the health of the existing trees.

7. Absolutely no trash burning of any kind is permitted.

8. All contractors are to maintain a trash container at all times during construction.

9. All contractors are to provide port-o-pots for the workers at all times during construction.

